4541 88TH Ave SE Mercer Island, WA

FLOOR PLAN GENERAL NOTES

GENERAL

- A. ALL ANGLED WALLS (OTHER THAN 90°) SHALL BE CONSTRUCTED AS NOTED BY ANGLE (DEGREES) CALLOUT OR CONFIGURED AS DIMENSIONED. (UNO.)
- B. ALL DIMENSIONS AT WALLS ARE TO THE FACE OF FRAMING STUDS.
- C. ALL EXTERIOR WALLS ENCLOSING CONDITIONED SPACE SHALL BE 2x6 STUDS at 16" OC. and INTERIOR WALLS TO BE 2x4 STUDS at 16" OC. per IRC. R602.3.2 (UNO.)
- D. ALL DIMENSIONS AT WINDOWS ARE TO THE CENTERLINE
- E. WINDOW SIZES NOTED ON PLANS ARE NOMINAL SO CONTRACTOR MUST VERIFY EXACT ROUGH OPENINGS PRIOR TO FRAMING. WINDOW and DOOR HEAD HEIGHTS SHOULD BE COORDINATED SO THAT ALL WINDOW and DOOR TRIMS ALIGN.
- F. PROVIDE WEATHER PROTECTION SYSTEM W/WATER-RESISTIVE BARRIERS IN COMBINATION w/FLASHINGS at EXT. WALLS, OPENINGS, PROJECTIONS, PENETRATIONS and INTERSECTIONS TO LOCK OUT ALL MOISTURE per IRC. R703.1-703.4
- G. TILE INSTALLATION SHALL COMPLY W/APPLICABLE SECTIONS OF THE TILE COUNCIL OF AMERICA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION" and ITS REFERENCED STANDARDS including IRC. R702.4.1
- H. ALL COUNTERS, TUB DECKS & WALLS AT TUBS & SHOWERS SHALL HAVE SMOOTH, HARD. NON-ABSORBENT SURFACE O/CEMENTITIOUS BACKER BOARD and MOISTURE RESISTANT UNDERLAYMENT per IRC. R702.4.2 NONABSORBENT AT TUB & SHOWER WALLS SHALL BE TO A HEIGHT OF +72" MIN. ABOVE DRAIN INLET per IRC. R307.2
- I. ALL SHOWERS AND ALL SHOWER RECEPTORS SHALL COMPLY WITH THE 2018 UNIFORM PLUMBING CODE.
- J. CALCULATIONS and DETAILS FOR MOUNTING HEIGHTS & CONNECTION OF METAL GUARDRAILS (IF USED) SHALL BE PROVIDED FOR REVIEW and APPROVAL BY RAILING FABRICATOR PRIOR TO INSTALLATION FOR COMPLIANCE W/IRC R311 & R312
- K. ALL REQUIREMENTS FOR BUILDING ENVELOPE TO COMPLY WITH THE 2018 WASHINGTON STATE ENERGY CODE (WSEC). SEE REQ'D ENERGY CREDITS ON THIS SHEET ALONG W/ ENI FOR PRESCRIPTIVE REQUIREMENTS and COMPLIANCE NOTES FOR SINGLE FAMILY RESIDENTIAL IN CLIMATE ZONE 5 and MARINE
- L. WSEC COMPLIANCE CERTIFICATE REQUIRED WITHIN 3' OF ELECTRICAL PANEL.
- M. EXHAUST FANS LARGER THAN 50cfm. MAY BE CONNECTED TO 4" SMOOTH WALL VENT PIPE IF RUNS DO NOT EXCEED 20' IN LENGTH, THE MINIMUM SIZE OF FLEX DUCT IS 5" DIAMETER WITH MAXIMUM RUN OF 15'.
- N. COMBUSTION AIR REQUIRED FOR ALL FUEL BURNING APPLIANCES. ALL INGITION SOURCES TO BE min. 18" ABV. GARAGE FLOOR per IRC. MI307.3
- O. PROVIDE FIREBLOCKING TO CUT OFF DRAFT OPENINGS AT LOCATIONS W/MATERIALS per IRC. R302.II PROVIDE DRAFTSTOPPING AT FLOOR/CEILING ASSEMBLIES per IRC. R302.12
- P. ALL WASTE PLUMBING DROPS TO BE ON INTERIOR WALLS or FURRED OUT EXTERIOR WALLS.
- Q. PROVIDE ACOUSTICAL PIPE WRAP AT ALL UPPER
- LEVEL WASTE LINES R. ALL OPENINGS MADE IN WALLS, FLOORS or CEILINGS FOR THE PASSAGE OF PIPES, STRAINER PLATES ON
- DRAIN INLETS, TUB WASTE OPENINGS TO CRAWLSPACE and METER BOXES TO COMPLY w/THE CODE REQUIREMENTS OF THE GOVERNING UPC.
- S. ENTRY STEPS SHALL HAVE SUFFICIENT GRADE BUILT UP AROUND THEM SO THE NUMBER OF STAIR RISERS DOES NOT EXCEED 3, W/MAX. RISER HEIGHT OF 73 NOT REQUIRING A HANDRAIL per IRC. R311.7.8
- T. ALL EXTERIOR HOSE BIBS TO HAVE NON-REMOVABLE VACUUM BREAKERS, MUST BE FROSTPROOF and BE CAULKED and SECURED AT EXT. WALLS.
- U. INTERIOR CEILING HEIGHTS ARE AS FOLLOWS; MAIN FLOOR 10'-0" (U.N.O.) UPPER FLOOR 9'-1 1/8" (U.N.O.)

SAFETY GLAZING SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS REQUIRED BY THIS SECTION SHALL HAVE MFGR'S DESIGNATION w/TYPE, THICKNESS and SAFETY GLAZING STANDARD with WHICH IT COMPLIES MARKED BY PERMANENT MEANS THAT CANNOT BE REMOVED WITHOUT DESTROYING GLASS per IRC. R308.1

IRC. R308.4 REQUIRES THAT SAFETY GLAZING TO BE INSTALLED IN ALL HARARDOUS LOCATIONS per DEFINED REQUIREMENTS and EXCEPTIONS SPECIFIED IN IRC. R308.4.1 through R308.4.7

- I. GLAZING IN DOORS.
- 2. GLAZING ADJACENT TO DOORS. 3. GLAZING IN WINDOWS MEETING ALL (4) CONDITIONS
- LISTED.
- 4. GLAZING IN GUARDS and RAILINGS 5. GLAZING IN and NEAR WET SURFACES.
- 6. GLAZING ADJACENT TO STAIRS and RAMPS
- 7. GLAZING ADJACENT TO THE BOTTOM STAIR
- LANDING. SKYLIGHTS and SLOPED GLAZING SHALL COMPLY with

THE MATERIALS and REQUIREMENTS OF IRC. R308.6.1 through R308.6.9 EGRESS WINDOWS

WINDOWS PROVIDING EMERGENCY ESCAPE and RESCUE OPENING REQUIRED AT BASEMENTS, HABITABLE ATTICS

- 310.2.1.2.1
- ABV. FLOOR per IRC. R310.2.2

EXIST Existing MFR Manufacturer Coefficient AD Area Drain and ALL SLEEPING ROOMS and SHALL OPEN DIRECTLY EXT Exterior MIN Minimum STD Standard ADDLAdditional INTO A PUBLIC WAY OR YARD TO SAME per IRC. R310.1 FBD Fiberboard MIR Mirror STL Steel ADH Adhesive FCB Fiber Cement Board MISC Miscellaneous STR Structural • WINDOW CANNOT REQUIRE KEYS, TOOLS or SPECIAL ADJ Adjustable FCO Floor clean out MLB Micro Laminate Beam STRUCT Structure or AFF Above Finish Floor KNOWLEDGE TO OPEN per IRC. 310.1.1 AGG Aggregate FD Floor drain MMB Membrane Structural • MUST HAVE AN OPENING AREA OF NOT LESS THAN 5.7 FIN Finish MTL Metal SY Square yard ALT Alternate Sq.Ft. with 20" min. WIDTH and 24" min. HEIGHT per IRC. FIXT Fixture MWK Millwork Tread ALUM Aluminum FLOR Fluorescent NIC Not in Contract T&G Tongue and Groove ANC Anchor NO # FLR Floor TEL Telephone APX Approximate • MUST HAVE A SILL HEIGHT OF NOT MORE THAN 44" NO Number TEMP Tempered FLSH Flashina ASPH Asphalt AUTO FND Foundation NOM Nominal TK Tiaht Knot Automatic FO Face Of TME To Match Existing AVR Average NTS Not to Scale GUARDS MUST BE PROVIDED AS WINDOW FALL AWG American Wire Gauge FOC Face of Concrete Non-Operable WindowTO Top Of PROTECTION AT LOW WINDOWS LOCATED GREATER TOB Top of Beam FOM Face of Masonry AWN Awnina THAN 72" ABV. FINISHED GRADE per IRC. R312.2 TOC Top of curb/ Top of FOS Face of Studs OBS Obscure B/O By Others OC On Center FOW Face of Wall STAIRS and HANDRAILS BD Board Concrete FPL Fireplace OD Outside Diameter TOF Top of footing BLDGBuilding STAIRWAYS PROVIDING EGRESS FROM HABITABLE OH Overhang TOJ Top of joist BLKGBlocking FRM Frame(ing) LEVELS NOT PROVIDED w/EGRESS DOOR per IRC. R311.2 OP Opaque TOW Top of wall FRPF Fireproof BLW Below TP Toilet Paper Hanger OPG Opening FT Foot SHALL MEET THE REQUIREMENTS and EXCEPTIONS OF BM Beam TYP Typical OPNG Opening or FTG Footing BOF Bottom of IRC. R311.7.1 through R311.7.9 INCLUDING: BOT Bottom FUR Furred Rouah Openina UNO Unless Noted • SHALL PROVIDE A MIN. CLEAR WIDTH OF 36" ABOVE GA Gauge OSB Orientated Strand BOW Bottom of wall Otherwise HANDRAIL W/MAX. HANDRAIL PROJECTION INTO GALVGalvanized Board VB Vapor barrier BR Bedroom PBD Particle Board GFCI Ground Fault Circuit VERT Vertical BSMTBasement STAIRWAY OF $4\frac{1}{2}$ " ON EITHER SIDE per R311.7.1 PBF Prefabricated VIF Verify in field BTW Between Interrupt PERFPerforate(d) • SHALL PROVIDE A MIN. HEADROOM OF 6'-8" GFI Ground Fault BYND Beyond W/ With CAB Cabinet MEASURED VERTICALLY FROM THE NOSE OF TREADS Interrupt Property Line W/O Without PLAM Plastic Laminate WC Toilet (water closet) CAS Casement GL Glass or LANDINGS per R311.7.2 GLB Glue Laminated BeamPLT Plate CB Catch Basin WD Wood SHALL NOT HAVE A VERTICAL RISE GREATER THAN GLBK Glass Block PLYWD Plywood Ventilating WDW Window 151" BTWN. FLOOR LEVELS or LANDINGS per R311.7.3 GWB Gypsum Wall Board PNT Paint or Painted CC Center to Center WH Water Heater PSF Pounds Per Square WIC Walk-In Closet CIP cast-in-place GYP Gypsum SHALL MEET THE WALKLINE REQUIREMENTS AT WINDER CJ Control Joint HB Hose Bib Foot WP Water Proofing TREADS per R311.7.4 PSI Pounds Per Square WP Weatherproof CL Centerline HC Hollow Core HDR Header CLG Ceiling • SHALL HAVE A MAX. RISER HEIGHT OF $7\frac{3}{4}$ " and HAVE A WR Weather Resistant CLR Clear HDWR Hardware PT Pressure Treated MIN. TREAD DEPTH OF IO" THE GREATEST DIMENSION WRB Weather Resistive PVC Polyvinyl Chloride HT Height CMU Concrete Masonry OF ANY RISER OR TREAD MUST NOT EXCEED THE Barrier HVAC Heat-Vent-Air PVMTPavement WWF Welded Wire Fabric SMALLEST DIMENSION BY MORE THAN ?". TREADS CO Clean Out Conditioning Riser X Operable Window LESS THAN II" SHALL MEET NOSING REQUIREMENTS. HW Hot water R&S Rod and Shelf COL Column Section THE OPENINGS AT OPEN RISERS SHALL NOT PERMIT ID Inside Diameter Reinforced Concrete CONC Concrete Rod CONTContinuous ILO In Lieu Of THE PASSAGE OF A 4" \$ SPHERE per R311.7.5.1 through RD Roof Drain CRPTCarpet IN Inch R311.7.5.4. RDL Roof drain leader CT Ceramic Tile INCL Include LANDINGS AT TOP and BOTTOM OF STAIRS SHALL CTYD Courtyard INS Insulate(tion) REBAR Reinforcing Bar MEET THE REQUIREMENTS OF R311.7.6 RFFR Ref CU FT Cubic Feet INSUL Insulation CU YD Cubic Yard REG Register INT Interior • THE WALKING SURFACE OF TREADS and LANDINGS RENFReinforced J-Box Junction box DBL Double SHALL NOT BE SLOPED MORE THAN 2% PER R311.7.7 REQ Required DEMO Demolish or JNT Joint • HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE JST Joist REQDReauired Demolitior **REV** Revision DH Double Hung KD Kiln Dried SIDE OF EACH CONTINUOUS RUN OF TREADS w/(4) or RFG Roofing DIA Diameter KIT Kitchen MORE RISERS. THE TOP OF HANDRAIL SHALL BE RM Room DIM Dimension LAM Laminate(d) 34-38" ABV. LINE CONNECTING NOSINGS, HAVE MIN. 1) Rouah Or Down SPACE BETWN. RAIL and WALL, HANDRAIL MUST RUN ROW Right of way DP Damp proofing LB Pound CONTINUOUS FOR FULL LENGTH OF EACH FLIGHT and DR Door SA Supply Air Lineal Feet DRWR Drawer MEET APPROVED GRIP-SIZE per IRC. R311.7.8 SCH Schedule LL Live Load SCN Screen DS Downspout Light • SHALL BE PROVIDED w/ILLUMINATION per IRC. R303.7 Smoke detector DT Drain Tile LTG Lighting at INTERIOR STAIRWAYS and R303.8 at EXTERIOR SECT Section DW Dishwasher LVL Laminated Veneer STAIRWAYS. SGD Sliding Glass Door DWG Drawing Lumber EA Each SH Shelf LVR Louver GUARDS EF Exhaust fan SHTHSheathing MAS Masonry EJ Expansion Joint SIM Similar GUARDS SHALL BE PROVIDED IN ACCORDANCE MAX Maximum SIM Similar EL Elevation MBR Member w/REQUIREMENTS and EXCEPTIONS OF IRC. R312.1 through R312.2 INCLUDING: ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS and LANDINGS LOCATED 30" or GREATER ABOVE ADJACENT FLOOR LEVEL per IRC. 3|2.|.| OPENINGS MUST PREVENT THE PASSAGE OF A 4" SPHERE or 4³/₈" AT OPEN SIDES OF STAIRS or 6" AT BUILDING CODES TRIANGLE OF TREAD, RISER & BOTTOM RAIL per R312.1.3 FOR THIS SET GUARDS MUST BE PROVIDED AS WINDOW FALL PROTECTION AT LOW WINDOWS LOCATED GREATER THAN 72" ABV. FINISHED GRADE per IRC. R312.2 GUARDS and HANDRAILS MUST RESIST A SINGLE CITY OF MERCER ISLAND CODES AT THE CONCENTRATED LOAD OF 2001bs. IN ANY DIRECTION ALONG THE TOP and GUARD INFILL MUST RESIST A 501b. DATE OF THIS DRAWING SET: LOAD APPLIED HORIZ. OVER I Sq.Ft. per IRC. TABLE R301.5 ALARMS 2018 INTERNATIONAL BUILDING CODE (IBC) SMOKE ALARMS and CARBON MONOXIDE ALARMS 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) REQUIRED IN ALL NEW DWELLINGS SHALL MEET 2018 WASHINGTON STATE ENERGY CODES REQUIREMENTS and EXCEPTIONS OF NFPA 72, IRC. R314 and R315. 2018 MERCER ISLAND CITY CODES SMOKE ALARMS TO BE LISTED and INSTALLED IN 2018 WASHINGTON STATE AMENDMENTS ACCORDANCE w/IRC. R314.1.1 and CARBON MONOXIDE 2018 INTERNATIONAL FUEL & GAS CODE ALARMS IN ACCORDANCE W/IRC. 315.1.1 2009 ICC A117.1, BARRIER-FREE STANDARD SMOKE ALARMS SHALL BE INSTALLED IN FOLLOWING LOCATIONS per R314.3 : 2018 INTERNATIONAL FIRE CODE (IFC) I. IN EACH SLEEPING ROOM. 2020 NATIONAL ELECTRIC CODE (NEC) 2. OUTSIDE EACH SEPARTE SLEEPING AREA. + PART 1 & 3, 2020 WASHINGTON CITIES 3. ON EACH STORY OF THE DWELLING. ELECTRICAL CODE 4. NOT LESS THAN 3' FROM A BATHROOM W/TUB or 2018 UNIFORM PLUMBING CODE (UPC) SHOWER. 2018 INTERNATIONAL MECHANICAL CODE (IMC) 5. NOT NEAR COOKING APPLIANCES per R314.3.1 2018 INTERNATIONAL FUEL GAS CODE (IFGC) SMOKE ALARMS SHALL BE INTERCONNECTED per R314.4 2018 POOL AND SPA CODE CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS per R315.3 : I. ON EACH STORY OF THE DWELLING 2. ADJACENT TO EACH SEPARATE SLEEPING AREA. 3. WITHIN BEDROOMS WHERE A FUEL BURNING FIREPLACE IS LOCATED IN THE ROOM or ITS ATTACHED BATH. ALL ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING W/BATTERY BACKUP per COVER SHEET R314.6 and R315.5 COMBINATION SMOKE and CARBON MONOXIDE |/4" = |'-*0*" ALARMS SHALL BE PERMITTED IN LIEU OF SEPARATE

ABBREVIATIONS

ELEC Electrical

EQ Equal

ELEV Elevation

EW Each Way

EXC Excavate

EXH Exhaust

MC Medicine Cabinet

MDO Medium Density

MEMB Membrane

Mechanical

Overlay

MED Medium

MECH

SLB Slab

SPECSpecification

SQFTSquare feet

SQ IN Square inches

STC Sound Transmission

Square

Pound OR Number

A/C Air Conditioner

AB Anchor Bolt

& And

ABV Above

@ At



ALARMS per R314.5 and R315..4

GENERAL INFORMATION APPLIES FULL SET

SHEET #	DESCRIPTION
A1	COVERSHEET
A2	SITE PLAN
A3	FOUNDATION PLAN
A4	MAIN FLOOR FRAMING PLAN
A5	MAIN FLOOR PLAN
A6	UPPER FLOOR FRAMING PLAN
A7	UPPER FLOOR PLAN
A8	ROOF FRAMING PLAN
A9	ROOF PLAN
A10	EXTERIOR ELEVATIONS
A11	EXTERIOR ELEVATIONS
A12	BUILDING SECTIONS
S0.0	LATERAL - STRUCTURAL GENERAL NOTES
LB-1	LATERAL - DETAILS
LB-2	LATERAL - DETAILS
SD.01	FOUNDATION DETAILS
D1	WATER INTRUSION DETAILS
E1	MAIN FLOOR ELECTRICAL LAYOUT
E2	UPPER FLOOR ELECTRICAL LAYOUT
EN1	2018 ENERGY CODE CALCULATIONS

PROJECT TEAM

ARCHITECTURAL DESIGN -JAYMARCH HOMES

ARCHITECTURAL DRAFTING

JAYMARC HOMES - 425.226.9100 - JAYMARCHOMES.COM RYAN REDMAN - RYAN@JAYMARCHOMES.COM

M&K ENGINEERING

MULHERN & KULP - 215.646.8001 - MULHERNKULP.COM RICHARD ZABEL - RZABEL@MULHERNKULP.COM

<u>UPPER FLOOR AREA</u> TOTAL AREA <u>COV'D PORCH</u> TOTAL AREA UNDER ROOF	1,450 3,509 115 3,624	5.F. 5.F. 5.F. 5.F.
TOTAL AREA COV'D PORCH TOTAL AREA UNDER ROOF	3,509 115 3,624	S.F. S.F. S.F.
COV'D PORCH TOTAL AREA UNDER ROOF	115 3,624	<u>S.F.</u> S.F.
TOTAL AREA UNDER ROOF	3,624	S.F.
UNCOV'D PATIO	205	S.F.
OVERALL WIDTH	42	2'-0"
OVERALL DEPTH	58,'	-11"
Updated : 1/02/2018		
Method for Calculating Square Footage - ANSI Z765-2 distinction of 'above-grade or below-grade' areas <u>and</u> e outside of studs not the exterior finishe	2013 <u>except:</u> r each level is me ed surface.	io separate easured to
Square footage calculations for this house were made based vary from the finished square footage of the	on plan dimensi house as built.	ons only and
See Sheet "CODES" for additional Zoning required	Area Calcula	, ations

	JAA<
	<pre></pre>
	Liao Residence 4541 88th Ave SE Job Number:
Sheet Title/Description	In the system of the second se





	L	iao	
	Heig	ht Table	
Wall	Midpoint		
Segment	Elevation	Length	Product
Α	367.8	44	16.183.2
B	370.5	15	5 557 5
<u>с</u>	372.4	4	1.489.6
D	372.3	5	1.861.5
F	368.2	18.5	6.811.7
 F	368.8	22	8.113.6
G	367.6	40.5	14.887.8
н	367.4	3	1.102.2
			_,
I	367	15.5	5,688.5
J	367	18	6,606.0
К	367	3	1,101.0
L	368.8	21	7,744.8
	Sub Totals	209.5	77,147.4
	ABE		368.2
	Max Height	:	30.0
N	1ax Elevatio	n	398.2
Pr	oposed Rid	ge	396.1

GE	
	8,777
	40%
	3,511
re Roof Area	
ered Patio	2,901
	468
	3,369
	1,159
eway	515
Ig	1,674
oved	(1,674)
	-
d Existing	3,369
%	38.4%

GI	ENERAL INFORMATION
PR	OPERTY OWNER
laı	n and Kit Liao
ST	REET ADDRESS
65	15 SE 30th St
PA	RCEL #
21	74500800
LEC	GAL DESCRIPTION
Lo1 22	ts 31, 32 and 33, Block 5, East Seattle, Volume 3, P and 23.
zo	NE: R-8.4
SE	TBACKS:
F	ront Yard - 20'
R	ear Yard - 25'
Si	ides Yard on Street Side - 20'
R	emaining side yard 5'
HE	IGHT LIMIT; 30' above ABE to roof peak
M/	AXIMUM LOT COVERAGE: 40%
M	AXIMUM HARDSCAPE: 9%
M	AXIIUM FAR: 40%
PA	RKING SPACES PROVIDED: 2 GARAGE 2 DRIVEWAY
NC	O CRITICAL AREAS IMPACETED
NC	ONSITE EASEMENTS

					Tot
16	IGHT LIMIT; 30' above ABE to r	oof peak			Tat
VI.	AXIMUM LOT COVERAGE: 40%				101
VI.	AXIMUM HARDSCAPE: 9%				
VI.	AXIIUM FAR: 40%				
Þ	RKING SPACES PROVIDED: 2 G	ARAGE 2 DF	IVEW	/AY	-
v	O CRITICAL AREAS IMPACETED				Со
10	O ONSITE EASEMENTS				Dri
	Lot Slope Calculatic	ons			Lo
	High Point	370.95	ft		G
	Low Point	365.5	ft		Se
	Elevation Difference	5.45	ft		L
	Distance	137	ft		
	Slope%	3.98%			M
					_

	Front Yard Pavers			288
	Stairs			
	Rockery/Retaining		18	
	Total Existing			858
	Existing Removed			626
	Net Existing Re	tained		232
	NEW			
	Walkways			50
	Stairs			
	Retaining Walls			20
	Total New			70
	Total New and Ex		252	
	Total Hardscape			2.8%
	PAR	KING		
	Covered	2 ea		
	Driveway	2 ea.		
	Gross Floor Area	\sim	$\overline{\mathbf{N}}$	
	Lot Size	<u>8,777</u> sf	$\left \right\rangle$	
	Main Floor	1,604 sf		
	Garage	455 sf		
	Second Floor	1,538 sf		
`	Less Stairs Credit	-88 sf		
	Total	<u>3,509</u> sf	1	
	Total Max Allowed: 40%	<u>3,509</u> sf 3,511sf		

Hardscape

552

EXISTING

Uncovered Patio

ID	Species	DSHS		[Drip		Exceptional	Removed	Saved
			N	E	s	w			
190	Coastal Redwood	63.9	32.7	26.7	35.7	33.7	x		63.9
191	English Holly	Not Regu	lated					x	
192	English Holly	Not Regu	lated					x	
194	Doug Fir	31.9	19.3	15.3	17.3	15.3	x		31.9
195	Western Red Cedar	49.5	20.1	27.1	22.1	24.1	x		49.5
196	Cherry Laurel	Not Regu	lated					х	
197	Mountain Ash	Not Regu	lated					x	
198	Cherry Laurel	Not Regu	lated					x	
199	Flowering Cherry	13	11.5	8.5	8.5	8.5			13
200	European White Birch	Not Regu	lated					x	
201	Pacific Dogwood	10.5	9.4	10.4	9.4	9.4			10.5
202	Replacement Tree from	n previous	permit						Save
203	Replacement Tree from	n previous	permit						Save
	OFFSITE TREES								
Α	Doug Fir	18			16.8				x
в	Western Red Cedar	46.7	20.9						x
с	Doug Fir	24	13						x
102	Doug Fir	20.8	22.9	16.9	16.9	10.9			x

Development proposals for a new single-family home shall remove Japanese knotweed (Polygonum cuspidatum) and Regulated Class A, Regulated Class B, and Regulated Class C weeds identified on the King County Noxious Weed list, as amended, from required landscaping areas established pursuant to subsection

19.02.020(F)(3)(a). New landscaping associated with new single-family home shall not incorporate any weeds identified on the King County Noxious Weed list, as amended. Provided, that removal shall not be required if the removal will result in increased slope instability or risk of landslide or erosion.







	L	iao	
	Heig	ht Table	
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ID	Species	DSHS		[Drip		Exceptional	Removed	Saved
			N	E	s	w			
190	Coastal Redwood	63.9	32.7	26.7	35.7	33.7	x		63.9
191	English Holly	Not Regu	lated					x	
192	English Holly	Not Regu	lated					x	
194	Doug Fir	31.9	19.3	15.3	17.3	15.3	x		31.9
195	Western Red Cedar	49.5	20.1	27.1	22.1	24.1	x		49.5
196	Cherry Laurel	Not Regu	lated					х	
197	Mountain Ash	Not Regu	lated					x	
198	Cherry Laurel	Not Regu	lated					x	
199	Flowering Cherry	13	11.5	8.5	8.5	8.5			13
200	European White Birch	Not Regu	lated					x	
201	Pacific Dogwood	10.5	9.4	10.4	9.4	9.4			10.5
202	Replacement Tree from	n previous	permit						Save
203	Replacement Tree from	n previous	permit						Save
	OFFSITE TREES								
Α	Doug Fir	18			16.8				x
в	Western Red Cedar	46.7	20.9						x
с	Doug Fir	24	13						x
102	Doug Fir	20.8	22.9	16.9	16.9	10.9			x

Development proposals for a new single-family home shall remove Japanese knotweed (Polygonum cuspidatum) and Regulated Class A, Regulated Class B, and Regulated Class C weeds identified on the King County Noxious Weed list, as amended, from required landscaping areas established pursuant to subsection

19.02.020(F)(3)(a). New landscaping associated with new single-family home shall not incorporate any weeds identified on the King County Noxious Weed list, as amended. Provided, that removal shall not be required if the removal will result in increased slope instability or risk of landslide or erosion.





BUILDING PAD







HOLD-DOWN SCHEDULE				
SYMBOL	SPECIFICATION			
HD-I	SIMPSON STHDI4 (RJ) HOLD-DOWN			
HD-5	SIMPSON CSI6 STRAP TIE (I4" END LENGTH)			
HD-6	SIMPSON MSTC40 STRAP TIE (12" END LENGTH)			
HD-7	SIMPSON MSTC66 STRAP TIE (24" END LENGTH)			

LEGEND

- JL METAL HANGER
- X INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- NDICATES HOLDOWN.

4×10 DROPPED CONT. BEAM (TYP. U.N.O.)

TYP. CRAWLSPACE POSTS:

4x4 P.T. POST W/2x4 CLEATS EA. SIDE + (2) A35 CLIPS ON EA. SIDE @ BASE OF POST W/O.131"x1-1/2" LONG REDHEAD NAILS (4'-0" MAX. POST HEIGHT) ON ASPHALT SHINGLE ON 24"x24"x8" PLAIN CONC. FTG. (TYP. U.N.O.)

REFER TO S-O FOR TYPICAL STRUCTURAL NOTES # SCHEDULES

FOUNDATION PLAN

7525 SE 24th St., 487 Mercer Island, WA 98040 425.266.9100
▲ Issue Issue Date By Description ▲. 04.08.22 CITY PLAN REVIEW COMMENTS .
Liao Residence 4541 88th Ave SE Job Number:
plan name: - marketing name: PATAGONIA plan number: . mark sys. number: Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each respectively shall govern. The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC; All rights reserved.
Submittal Date Submittal Date Sheet Title/Description Design Firm Design Firm R.R./ S.K. Checked by:
A3





	HOLD-DOWN SCHEDULE		
SYME	30L SPECIFICATION		
H	D-I SIMPSON STHDI4 (RJ) HOLD-DOWN		
H	D-5 STRAP TIE (I4" END LENGTH)		
H	D-6 STRAP TIE (I2" END LENGTH)		
н	SIMPSON MSTC66 D-7 STRAP TIE (24" END LENGTH)		
-			
	LEGEND		
	JL METAL HANGER		
	X INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.		
	INDICATES HOLDOWN.		
	INDICATES 11-7/8"		
	TJI FLOOR JOISTS 210 SERIES @ 16"O.C. (TYP. U.N.O.)		
	STRUCTURAL NOTES &		
	SCHEDULES		
B28	4x10 DROPPED CONT.		
	(TYP. U.N.O.)		
	N VENTILATION		
Ventilation Required: Use: 14"	1606 s.f. / 300 = 770.88 s.i. Req'd x 7" Foundation Vents		
Vent Area = Vents Required =	98 s.i 25% reduct.,1/4"mesh = 73.5 s.i. 770.88 s.i. / Vent Area = 10.49 s i		
Provide : 11 14"	x 7" Vents, Area = 808.5 s.i.		
Ventilation Provided = Use: 11 14'	808.50 s.i. is Greater than 770.88 s.i. Req'd x 7" Foundation Vents		
* FOUNDATION VENTS SHAL * INSTALL 6 MIL BLACK POL	L NOT INTERFERE WITH DIRECT LOAD PATH OF COLUMNS YETHYLENE VAPOR RETARDER GROUND COVER		
* LOCATE ONE VENT WITHIN OF THE BUILDING SHALL D	3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE		
L OF THE BUILDING SHALL B			

	JAA<
	▲ Issue Issue Date By Description ▲. 04.08.22 CITY PLAN REVIEW COMMENTS
	Liao Residence 4541 88th Ave SE Job Number:
	plan name: marketing name: PATAGONIA plan number: mark sys. number: mark sys. number: Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each respectively shall govern. The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC; All rights reserved.
	Submittal Date Sheet Title/Description Design Firm Drawn by: R.R./ S.K. Checked by:
Et Mile/Pescriphion	Primary Scale A4 of: .









HOLD-DOWN SCHEDULE				
SYMBOL	SPECIFICATION			
HD-I	SIMPSON STHDI4 (RJ) HOLD-DOWN			
HD-5	SIMPSON CSI6 STRAP TIE (I4" END LENGTH)			
HD-6	SIMPSON MSTC40 STRAP TIE (12" END LENGTH)			
HD-7	SIMPSON MSTC66 STRAP TIE (24" END LENGTH)			

LEGEND

- \circ = = BEAM / HEADER
- _____ 18" FLOOR TRUSS @ 19.2" O.C. (U.N.O.)
- $\bullet \blacksquare \blacksquare \blacksquare$ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING JL METAL HANGER
- \star INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.

REFER TO S-O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

4x10 HDR @ ALL EXT. BI WINDOWS/DOORS (TYP. U.N.O.)

NOTE #1: PROVIDE 1/6" OSB/PLYWOOD SHTG. + FASTEN PER TYP. WALL SHTG. SPECS. (SEE NOTES)

<u>NOTE #2:</u>

PROVIDE 1/6" OSB/PLYWOOD SHTG. + FASTEN PER 3" EDGE NAILING SPECS. (SEE NOTES)

	AYAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAA
	▲ Issue Issue Date By Description △. 04.08.22 CITY PLAN REVIEW COMMENTS
	Liao Residence 4541 88th Ave SE Job Number:
	plan name: n marketing name: PATAGONIA plan number: n mark sys. number: n Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each respectively shall govern. The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC. © 2017 JayMarc Homes, LLC; All rights reserved. Submittal Date Sheet Title/Description
tle/Description	Design Firm Drawn by: R.R./ S.K. Checked by: Primary Scale

of: .

A Al2

$\frac{\mathsf{ROOF}}{|/4" = |'-0"} \mathsf{PLAN}$

ROOF VENTILATIC	DN	
Standard Truss / Scissor Truss Roof F	Framing Assembly:	ZONE 1
Roof Area :	3038 s.f.	
Ventilation Required:	3038 s.f. x 144 s.i. / s.f. / 300 =	1458.2 s.i. Req'd
Provide between 40% & 50% of the total	required ventilation no more than 3 ft below t	the ridge or
the highest point of the space. Remaind	er to be installed at eave vents.	
Ridge Ventilation: 50% of ventilation		729.12
Continuous Ridge Vent =		18.00 s.i. per l.f.
Upper Ventilation MIN. Req'd =	729.12 s.i. x 0.4 / s.i. per linear foot =	33 l.f.
Upper Ventilation MAX. Req'd =	729.12 s.i. x 0.5 / s.i. per linear foot =	40 l.f.
Provide:	0 I.f. ridge vent. Ventilation =	0.00 s.i.
Ventilation area remainder for AF50 vent	is = 729.12 s.i.	
Upper Roof Ventilation: as needed to acl	hive 50% of ventilation	
AF50 Roof Jack (10" x 7") =		50.00 s.i. each.
Upper Ventilation Req'd TO GET 50%=	729.12 s.i. / s.i. of each vent =	15 vents
Provide:	15 -10"x7" roof jacks. Ventilation =	750.00 s.i.
Eave Ventilation:		
Birdblocking: (3)2" dia holes per bay =	4.71 s.i. / l.f 25% reduction =	3.53 s.i. / l.f.
Eave Ventilation Req'd =	729.12 s.i. / s.i. per l.f. =	941.43 l.f.
Provide Minimum:	201 I.f. birdblocking. Ventilation =	710.03 s.i.
Minimum Ventilation Provided =	1460.03 s.i. IS GREATER THAN :	1458.2 s.i. Req'd

SW #204

SW #203

|/4" = |'-*0*"

 $\frac{1}{4}^{11} = \frac{1}{2} = 0^{11}$

5 TYPICAL EXTERIOR WALL SECTION

J	7525 SE 24th Mercer Isla 9804 425.266.	ARC E S n St., 487 nd, WA 0 9100	
		e Date By	
	Liao Residence 4541 88th Ave SE	Job Number:	
pla ma pla ma	n name: Irketing name: PA In number: . Ark sys. number:	TAGONIA	
Con rep writ the Res tho the and res The inst sha Jay Q 2 All	nditions not sp resented graph ing or which of current Intern sidential Code (se of the loca n the current d requirements pectively shall e drawings in t truments of se all remain the p Marc Homes, L 2017 JayMarc F rights reserved	ecifically ically or in conflict wit ational (IRC.) or I municipa standards of each govern. his set ard rvice and property o LC. Homes, LLC	h lity e f
Su	ıbmittal Date		
Sh	eet Title/Desc	ription	
De	sign Firm		
	awn by: R.R./ S.K		
	iecked by:		
	Mary Scale	12 of: .	

BASEMENT SLAB

4" CONC. SLAB ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GARAGE SLAB

4" CONC. SLAB ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

PORCH SLAB

4" CONC. SLAB ON GRADE ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE
- DESIGN LOADS: SOIL 2,000 PSF ALLOWABLE BEARING PRESSURE
- CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
- f'c = 2,500 psi: FOUNDATION WALLS* 2,500 psi: FOOTINGS*
- 2,500 psi: INTERIOR SLABS ON GRADE 3,500 psi: GARAGE & EXT. SLABS ON GRADE
- fy = 60,000 psi * UTILIZE $5\!/_2$ " SACK 2500 PSI CONCRETE MIXES THAT ARE EQUIVALENT TO 3,000 PSI CONCRETE FOR WEATHERING POTENTIAL
- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS
- THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- FOUNDATION WALL DESIGN IS BASED ON BACKFILL SOIL CLASSIFICATIONS OF SC, ML-CL, OR CL (60 pcf) SOIL.
- TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN.; BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER AT THE BOTTOM BARS AND I 1/2" COVER AT THE SIDES.
- FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE. • FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR
- 95% COMPACTED FILL. • PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB
- EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (15'-0" O.C.)
- FASTEN SILL PLATES TO FOUNDATION WALLS WITH 5/8" DIA. ANCHOR BOLTS w/ MIN. $3"x3"x \frac{1}{4}"$ PLATE WASHERS (EDGE OF WASHER TO BE LOCATED WITHIN ½" OF EXTERIOR EDGE OF SILL PLATE) & NUTS @ 6'-0" O.C. @ 2-STORY \$ 4'-0" O.C. @ 3-STORY CONDITIONS w/ 7" MIN. EMBEDMENT INTO CONC. PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAXIMUM FROM PLATE ENDS, U.N.O. (SEE FND. DETAILS). • ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE TREATED
- HFM FIR #2. BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF
- HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORDINATE ARCH/BUILDER TO VERIFY ALL DIMENSIONS

H	OLD-DOWN SCHEDULE
SYMBOL	SPECIFICATION
HD-I	SIMPSON STHD14 (RJ) HOLD-DOWN
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
► HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING FLEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TO FRANCES

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING:

- A. ROOF TRUSSES: 1/4" DEAD LOAD
- FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
- 1/8" DEAD LOAD FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS:
- LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

LOADING AND DESIGN PARAMETERS		LA
BRAVITY DESIGN LOADS: DEAD LOAD (PSF):		THIS HO
ROOF TRUSS TOP CHORD : ROOF TRUSS BOTTOM CHORD : FLOOR (TRUSSES) : FLOOR (I-JOISTS) :	10 7 15 10	(ASC
TILE FLOORS : DECK PAVERS :	10 15	
LIVE LOAD (PSF): ROOF : RESIDENTIAL LIVING AREAS : RESIDENTIAL SLEEPING AREAS : RESIDENTIAL WOOD DECKS : GARAGE :	20 40 30 60 50	ENGIN 2018 II AS PE ACCO
SNOW LOAD: GROUND SNOW LOAD (Pg) (PSF) : FLAT ROOF SNOW LOAD (Pf) (PSF) : SNOW EXPOSURE FACTOR (Cg) : SNOW LOAD IMPORTANCE FACTOR (I) : THERMAL FACTOR (Cf) :	25 25 0.9 1.0 1.2	RESIST AND I PRE
<u>_ATERAL DESIGN LOADS:</u> WIND LOAD: (IBC 1609) SPEED (Vult) (MPH) :	100	<u>STA</u>
WIND RISK CATEGORY : IMPORTANCE FACTOR (Iw) : EXPOSURE CATEGORY : INTERNAL PRESSURE COEFE (GCm) :	 .0 B ±0.18	• 7/6"
TOPOGRAPHIC FACTOR (K_{zt}) : SEIGMIC LOAD: (IBC 1613)	1.6	FAST SUPPO
SEISMIC RISK CATEGORY : SEISMIC IMPORTANCE FACTOR (I_) : MAPPED SPECTRAL RESPONSE : S3: 1.429 S1: 0.497	 .0	FRAN PRON <u>SHAL</u> PLAN
SITE CLASS : SPECTRAL RESPONSE COEFF. : Sds: 1.143 Sdi: 0.597	D	
SEISMIC DESIGN CATEGORY: BASIC SEISMIC-FORCE-RESISTING SYS : LIGHT FRAMED WALLS	D	- 7/
WWOOD STRUCTURAL PANELS ULTIMATE BASE SHEAR: TRANS: 15 K LONG: 15 K SEIGMIC RESPONSE COFFE (Cr.)		 716 ONLY SHOP
TRANS: 0.176 LONG: 0.176 RESPONSE MODIFICATION FACTOR (R) : TRANS: 6.5 LONG: 6.5		3" O. SHEE MEME
ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE		NOTE
		I. L

LATERAL BRACING NOTES

THIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. B

(ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D2.

10 MPH WIND IN 2018 IRC MAP ENGINEERED DESIGN WAS COMPLETED PER 2018 IBC (SECTION 1609 & 1613) & ASCE 7-16, AS PERMITTED BY R301.1.3 OF THE 2018 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO ESIST THE CODE REQUIRED LATERAL FORCE AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.

STANDARD EXTERIOR WALL SHEATHING SPECIFICATIONS (INTERIOR WALL SPECIFICATION WHERE NOTED ON PLANS)

• 16" OSB OR 15/32" PLYWOOD:

FASTEN SHEATHING w/ $2\frac{1}{2}$ "x0.131" NAILS @ 6"o.c. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WAL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED PER THIS SPECIFICATION U.N.O. ON PLANS.

3" O.C. EDGE NAILING <u>(WHERE NOTED ON PLANS)</u>

• 16" OSB OR 15/32" PLYWOOD:

ONLY AT LOCATIONS INDICATED ON PLANS - SHEATHE WALL SHOWN WITH $\frac{7}{6}$ " OSB. FASTEN SHEATHING w/ $2\frac{1}{2}$ "x0.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.

<u>NOTES:</u>

- I. LATERAL ANALYSIS ASSUMES STUD SPACING @ 16" O.C. ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER W/ 3"XO.131" NAILS @ 8" O.C. USE (12)3½"x0.135" NAILS AT EACH LAP SPLICE, (6) EACH SIDE C JOINT (TYP. U.N.O)
- 3. ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.
- 4. ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS.

LEGEND

- IIIIIII INTERIOR BEARING WALL
- BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.
- ---- BEAM / HEADER
- INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING AREA OF OVERFRAMING
- JL METAL HANGER
- * INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.

GENERAL STRUCTURAL NOTES

DESIGN PARAMETERS

- DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE • WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN
- SPECIFICATION FOR WOOD CONSTRUCTION" LATEST EDITION.

GENERAL FRAMING

- EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)
- ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLOON FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERSIDE OF FRAMING AT NEXT LEVEL. B.F. WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) HEM FIR (HF) #2 GRADE LUMBER, OR BETTER.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD. MINIMUM. - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAW LUMBER SHALL BE DOUG FIR #2 (DF #2) OR BETTER.
- ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15).
- ALL TYP NALL EASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- FASTEN ALL BEAMS TO COLUMNS, OR FLUSH BEAMS TO SUPPORTING BEAMS, w/ (4) 3"x0.131" TOENAILS (MIN.), TYP. U.N.O.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO MATCH POST ABOVE.
- ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING: • LSL MEMBERS - Fb=2325 PSI; Fv=310 PSI; E=1.55x10^6 PSI
- LVL MEMBERS Fb=2600 PSI; Fv=285 PSI; E=2.0x10⁶ PSI • GLB MEMBERS - Fb(+)=2400 PSI; Fb(-)=1850 PSI; Fv=265 PSI; E=I.8x10^6 PSI; DF/DF; 24F-V4 (U.N.O)
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: • LVL MEMBERS - Fb=2400 PSI; FcII=2500 PSI; E=1.8x10^6 PSI
- FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W/ 3-ROWS OF 3"x0.131" NAILS (MIN.) @ 12" O.C. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. UTILIZE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS
- ALL MEMBERS SPECIFIED AS MULTI-PLY 13/4" SHALL BE FASTENED TOGETHER PER MANUFACTURER. EQUIVALENT WIDTH SOLID MATERIAL MAY BE USED AS EQUAL.
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS w/P.A.F.s ('HILTI' X-U PINS OR EQUAL (0.157" DIA. x 2" LONG MIN.)) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C., STAGGERED. • REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. U.N.O.

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, U.N.O. (EXCLUDES STONE/MARBLE OR WET BED
- CONSTRUCTED FLOORS CONTACT M&K FOR EXCLUDED DESIGNS). ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- I-JOIST/TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO
- FABRICATION OR DELIVERY. • 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL 2x JOIST HANGERS (U.N.O. ON PLANS):
- SINGLE PLY: SIMPSON LUS210 DOUBLES: SIMPSON LUS210-2
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND
- 2 ½" × 0.131" NAILS @ 6"0.c. @ PANEL EDGES & @ 12"0.c. FIELD. • ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER APPROPRIATE FOR MEMBER SIZE. U.N.O.
- FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS W/ 1/2" LONG NAILS.

ROOF FRAMING

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (4) 3"x0.131" TOENAILS (MIN.) € (I) 'SIMPSON' SDWCI5600 SCREW @ ALL BEARING POINTS. PROVIDE (2) 'SIMPSON' SDWC15600 SCREWS AT 2-PLY GIRDER TRUSSES, (3) 'SIMPSON' SDWC15600 SCREWS AT 3-PLY GIRDER TRUSSES AT ALL BEARING POINTS.
- FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (I) 'SIMPSON' SDWC15600 SCREW. PROVIDE (2) 'SIMPSON' SDWC15600 SCREWS AT FLUSH BEAMS IN THE ROOF - AT ALL BEARING POINTS.
- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBER w/ 2 ½" x 0.131" NAILS @ 6"0.c. AT PANEL EDGES € @ 12" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLE AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS
- MANUFACTURER, UNLESS OTHERWISE NOTED. • ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE PREPARED BY A WASHINGTON STATE LICENSED ENGINEER AND SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 7.6.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW w/ (2) 3"x0.131" TOENAILS AT EA. TRUSS.
- SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (UP TO 6' TRIB.) w/2x6 LEDGER FASTENED TO FRAMING w/(3) 3"x0.131" NAILS @ 16" (• FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS

sheet:

BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" O.C. MAX. PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS.

TYP. SILL PLATE:

(SEE PLANS)

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PLATE PER EXT. WALL/ SHEARWALL EDGE NAILING REQUIREMENTS (SEE PLANS)

TYP. PORCH SLAB ------SEE 2/SD.OI

SILL SEAL ------PER BUILDER COMPACTED -BACKFILL

8" LONG #4 DOWELS ----@ 12" O.C. HAMMERED INTO 1/2" DIA. x 2" DEEP HOLES (NO EPOXY)

Vertical wall Installation

Install Typar[®] HouseWrap over an approved exterior sheathing after the framing is complete and before the windows and doors have been installed. Plastic capped fasteners should be used and spaced at 32" OC (vertically and horizontally) when being applied over 7/16" OSB or 15/32" plywood. When installing over metal framing use screws with washers. If the windows and doors have already been installed, trim the Typar WRB close to the window frame and flash according to the Typar Flashing instructions.

STEP 1

Start at the bottom of one end of the wall with the printed side facing out. When starting at a corner, overlap by a minimum of 12".

Place the housewrap roll horizontally and roll out the first course evenly, covering rough window and door openings. A minimum of a 1" (25.4 mm) overlap on the sill plate is required; however, for maximum protection, a 2-4" (51-102 mm) overlap on the sill plate is recommended.

Pull the Typar snug and avoid wrinkles and creases. Ensure that the product is level.

STEP 2

Fasten the Typar to the stud using plastic capped nails or plastic capped staples at 32" O.C. both horizontally and vertically.

STEP 3

The upper layer of Typar housewrap should overlap the bottom layer by a minimum of 6" (152 mm) vertically and horizontally. Ensure proper shingling throughout the installation to properly shed water. Once the structure is completely covered, tape all seams and penetrations using Typar® construction tape. (Please refer to the Typar® flashing instructions for more detailed instruction on penetrations and window flashing installation).

STEP 4

After the installation complete and before the exterior cladding is installed, inspect the Typar® for tears. Repair the issues with Typar Construction tape or Typar Flashing.

pgi

Typical Window Flashing

STEP 1

Install the window sill pan according to the manufacturer's instructions. Alternatively, you can create a sill pan using Typar Flashing Flex. Cut a piece that is 12" longer than the length of the rough opening window sill.

Carefully pull off the release liner. Center the Flashing in the center of the rough opening and work you way toward the corners and then up the sides. Note: the flex flashing should overlap to the outside of the wall by 2-3". Only stretch the flashing in the corners.

Alternatively to above, you can create a sill pan by installing TYPAR Straight Flashing along the bottom sill and installing TYPAR Flashing Flex on the corners only.

If needed, secure the fanned edges of the TYPAR Flashing Flex with a plastic capped nail/ plastic capped staple.

STEP 2

Apply a continuous bead of sealant to the back of the window or on the wall. Do not apply the sealant across the bottom of the sill or on the bottom of the window. This area is left open to allow for proper drainage.

Install the window according to the manufacturer's installation instructions.

STEP 3

Cut two pieces of Typar Flashing long enough to extend 1" above the window head flange and 1" below the window sill flange. Carefully peel off the release liner and apply the flashing on both sides of the window. Make sure to cover the entire window flange, press firmly either by hand or using a J-roller. Ensure there are no wrinkles or bubbles.

Cut a piece of Typar Flashing for the head flashing. Ensure that the piece is long enough to extend by 1' on both sides of the jamb flashing. Remove the release liner and carefully install the flashing. Cover the window flange and press firmly by hand or using a J-roller.

STEP 4

Release the upper flap of the WRB that you cut earlier. Tape the 45 degree cuts using Typar Construction Tape or Typar Flashing. DO NOT tape the WRB along the top of the window flange.

Window and Door Preparation Preparing for Window Installation

STEP 1

After wrapping the structure and covering all rough openings. Cut a horizontal line across the top of the window opening. The cut should not extend past the rough opening.

STEP 2 Start at the top center and make a vertical cut running two-thirds of the way down the opening.

STEP3

From that stopping point, cut diagonally to both lower left and right corners of the opening.

STEP 4 Pull each of the flaps tightly inside the rough opening and attach them to the frame with nails, staples, or tape.

STEP 5

At the window header, make a 6" diagonal cut at a 45 degree angle on both corners. Fold the material up exposing the sheathing. Now install the window or door according to the manufacturer instructions. The final step is to flash all seams and flanges securely (refer to Typar® Flashing instructions). Typar® flashing should also be installed in accordance with window manufacturer instructions and according to the ASTM 2112 standard.

pgi

Flashing Penetrations

Penetrations such as exhaust fans, exterior electrical outlets, dryer vents, exterior lights, and gas outlets are a common entrance for bulk water into the wall cavity. Using Typar flashing will ensure proper water hold out and maintain the integrity of the structure.

The method is similar to the flashing a window. Start by flashing the bottom of the penetration. Ensure to shingle the upper tape over the bottom tape.

Some penetrations have flanges, such as dryer vents. These penetrations should be flashed according to the details below.

STEP 1

Install the vent according to the manufacturer's recommendations. Trim the housewrap as close as possible around the perimeter of the vent.

STEP 2

Flash the vent using the same method as windows. Starting at the bottom flange; cut the flashing so that it extends past the flanges by 1" on both sides. Now apply the flashing to the sides of the vent. Remember to extend the flashing 1" on both top and bottom. Make sure to smooth out wrinkles and air bubbles. The use of a J-roller is optional.

STEP 3

The Final step is to install the flashing across the top. Extend the flashing out at least 1" on both sides.

Note: This type of installation is suitable for several different penetrations. Always use the shingling method and ensure a tight seal around the flange/penetration.

Typar[®] HouseWrap is part of a complete Weather Protection System, which also includes Typar[®] Metro Wrap, Typar[®] Flashings and Construction tape

For more information, visit www.Typar.com

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Sheet Title/Description	Plan name: marketing name: plan number: mark sys. number: mark sys. number: Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each respectively shall govern. The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC; All rights reserved. Sheet Title/Description Design Firm Drawn by: Checked by:

Window, Skylight and Door Schedule

Project Information			Contact In	formati	ion			
New SFR			JayMarc	Hom	es			
4541 88th Ave SE		9	7525 SE	24th	St, #4	87		
Mercer Island, WA. 98008		11 B	Mercer I	sland	, WA.	98)40	_
					Midt	-		at
	Def	I. feeter			Fact	Inch	Feet	Inch
	Ret.	0-ractor		4	reel	6	o	0
Exempt Swinging Door (24 sq. ft. max.)	WSEC	0.25	0	1	3	8	0	0
Exempt Glazed Fenestration (15 Squitt. max.)	IVVSEC	.25		2	2		•	
March I Frankling (Mindawa and Jacob)								
Vertical Fenestration (windows and doors)					Widt	n	Hoial	ht
Component	Dof	I footor		Ot	Foot	Inch	Foot	Inch
Description	NEL.	0.26	1	2	2	0	2	0
Great Rm - lixed	WEED	0.20	4	2	2	6	5	6
Great Rm - fixed	WSEC	0.20		4	2	6	2	0
Great Rm - fixed	WSEC	0.20		4	2	0	8	0
Nook - slider	WOEC	0.20	-	1	2	0	3	6
Kitchen - fixed	WOEC	0.20		1	2	6	5	6
Bedroom 4 - casement	WSEC	0.20	1	1	2	6	2	0
Bedroom 4- awning	WSEC	0.28	- s 👘 🕴	2	2	6	2	6
Bedroom 4 - fixed	VVSEC	0.26		3	2	6	2	0
Bedroom - fixed	WSEC	0.26	-	4	2	0	6	0
Study - slider	IVVSEC	0.28		1	0	0	5	6
Mst. Bedroom - casement	WSEC	0.28		2	0	0	5	6
Mst. Bedroom - fixed	WSEC	0.26			0	0	0	0
Mst Bath - single hung	WSEC	0.29		2	2	0	4	0
Mst. Bath - slider	WSEC	0.28		1	0	0	4	6
Bedroom 3 - fixed	WSEC	0.26		4	3	0	5	6
Bedroom 3 - single hung	WSEC	0.29		1	3	0	0	0
Bath 2 - fixed	WSEC	0.26		2	2	6	2	6
Bedroom 2 - fixed	WSEC	0.26		3	2	6	5	6
Bedroom 2 - single hung	WSEC	0.29		1	2	0	0	0
Laundry - fixed	WSEC	0.26	-	1	4	0	4	0
Bonus - slider	WSEC	0.28	-	2	5	0	4	0
Bonus - slider	WSEC	0.28	-	1	6	_	8	-
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1	8	0	8	0
1	3	0	3	6
1	2	6	5	6
1	2	6	2	0
3	2	6	5	6
1	2	6	2	0
1	8	0	6	0
2	3	0	5	6
1	6	0	5	6
2	2	0	4	0
1	5	0	4	0
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2	2	0	2	0
3	2	6	5	6
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1	6	0	8	0
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Area UA

Area UA

12.0 3.12 55.0 14.30

20.0 5.20

64.0 17.92

10.5 2.73 13.8 3.85

5.0 1.40 41.3 10.73 5.0 1.30

48.0 13.44

33.0 9.24

16.5 4.79

8.0 2.08

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2018 Washington State Energy Code – Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington

Single Family – New & Additions (effective February 1, 2021) Version 1.0

These requirements apply to all IRC building types, including detached one- and two-family dwellings and multiple single-family dwellings (townhouses).

Project Information	Contact Information
New SFR	Ryan Redman - JayMarc Homes
4541 88th Ave SE, Mercer Island, WA	7525 SE 24th St, Mercer Island, WA. 98040
Instructions: This single-family project will us incorporate the minimum values listed. Base	e the requirements of the Prescriptive Path below and d on the size of the structure, the appropriate number of

additional credits are checked as chosen by the permit applicant. Provide all information from the following tables as building permit drawings: Table R402.1 - Insulation and Fenestration Requirements by Component, Table R406.2 - Fuel Normalization Credits and 406.3 - Energy Credits

Authorized Representative	Ryan Redman	Digitally signed by Ryan Redman Date: 2021.03.24 12:42:38 -07'00'	Date	03/24/2021	
					-
	All Climate Z	ones (Table R402.1.1)			
	R-V			U-Factor ^a	

		R-value	U-lactol
Fen	estration U-Factor	n/a	0.30
Sky	light U-Factor ^b	n/a	0.50
Gla	zed Eenestration SHGC ^{b,e}	n/a	n/a
Cei	ling ^e	49	0.026
Wo	Vood Frame Wall ^{g,h} 21 int		0.056
Flo			0.029
3el	ow Grade Wall ch	Grade Wall ^{c.h} 10/15/21 int + TB	
Slal	o ^{d,†} R-Value & Depth	10, 2 ft	n/a
Ĉ	the interior of the wall, or R-22 the interior of the basement w the interior of the basement w	1 cavity insulation plus a thermal break be vall. "10/15/21 +5TB" shall be permitted to vall plus R-5 continuous insulation on the in	tween the slab and the basement wall a b be met with R-13 cavity insulation on nterior or exterior of the wall. "5TB"
d	R-10 continuous insulation is r	equired under heated slab on grade floors	See Section R402.2.9.1
e	For single rafter- or joist-vaulte extends over the top plate of t	ed ceilings, the insulation may be reduced he exterior wall	to R-38 if the full insulation depth
f	R-7.5 continuous insulation ins slab insulation when applied to meet the requirements for the	stalled over an existing slab is deemed to k o existing slabs complying with Section R5 ermal barriers protecting foam plastics.	be equivalent to the required perimete 03.1.1. If foam plastic is used, it shall

For log structures developed in compliance with Standard ICC 400, log walls shall meet the requirements for *climate zone* 5 of ICC 400,

Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard h framing 16 inches on center, 78% of the wall cavity insulated and headers insulated with a minimum of R-10

insulation.

2018 Washington State Energy Code-R

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Pro	ect Info	ormati	on	
NEW 4541	SFR	ve SE		
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	Sing	gle Ra structi	ons	r Joist Vau
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			TABLE	R402.1.1			
	а	INSULATION AND	FENESTRATIO	N REQUIREMENTS	BY COMPONEN	a a a a a a a a a a a a a a a a a a a	
Climate Zone	Fenestration U-Factor ^b	Skylight ^h U-Factor	Ceiling R-Value ^e	Wood Frame Wall ^{g, h} <i>R</i> -Value	BY COMPONEN Floor R-Value	Below-Grade ^{c, h} Wall <i>R</i> -Value	Slab ^{d, f} <i>R</i> -Value & Depti

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Sum of Vertical Fenestration Area and UA Vertical Fenestration Area Weighted U = UA/Area 0.0 0.00

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Area UA

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Sum of Overhead Glazing Area and UA Overhead Glazing Area Weighted U = UA/Area

Total Sum of Fenestration Area and UA (for heating system sizing calculations)

2018 Washington State Energy Code – Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family – New & Additions (effective February 1, 2021)

Each dwelling unit *in a residential building* shall comply with sufficient options from Table R406.2 (fuel normalization credits) and Table 406.3 (energy credits) to achieve the following minimum number of credits. To claim this credit, the building permit drawings shall specify the option selected and the maximum tested building air leakage, and show the qualifying ventilation system and its control sequence of operation.

1. Small Dwelling Unit: 3 credits

Dwelling units less than 1,500 sf in conditioned floor area with less than 300 sf of fenestration area. Additions to existing building that are greater than 500 sf of heated floor area but less than 1,500 sf. 2. Medium Dwelling Unit: 6 credits

- All dwelling units that are not included in #1 or #3
- 3. Large Dwelling Unit: 7 credits
- Dwelling units exceeding 5,000 sf of conditioned floor area
- 4. Additions less than 500 square feet: 1.5 credits All other additions shall meet 1-3 above

Before selecting your credits on this Summary table, review the details in Table 406.3 (Single Family), on page 4.

	Summary of	Table R406.2		
Heating Options	Fuel Normalization Descriptions	Credits - heatin	select ONE	User Notes
1	Combustion heating minimum NAECA ^b	0.0	0	
2	Heat pump ^c	1.0	•	
3	Electric resistance heat only - furnace or zonal	-1.0	0	
4	DHP with zonal electric resistance per option 3.4	0.5	0	
5	All other heating systems	-1.0	0	
Energy Options	Energy Credit Option Descriptions	Credits - energy opticate	select ONE on from each gory ^d	
1.1	2ff(19179)21212121700 129121 (212)2327921212	0.5	0	
1.2	Efficient Building Envelope	1.0		
1.3	Efficient Building Envelope	0.5		
1.4	Efficient Building Envelope	1.0	0	
1.5	Efficient Building Envelope	2.0		
1.6	Efficient Building Envelope	3.0	0	
1.7	Efficient Building Envelope	O 0.5	0	
2.1	Air Leakage Control and Efficient Ventilation	0.5	•	
2.2	Air Leakage Control and Efficient Ventilation	1.0	0	
2.3	Air Leakage Control and Efficient Ventilation	1.5		
2.4	Air Leakage Control and Efficient Ventilation	O2.0	Ο	
3.1ª	High Efficiency HVAC	1.0		
3.2	High Efficiency HVAC	1.0		
3.3ª	High Efficiency HVAC	1.5	O	
3.4	High Efficiency HVAC	1.5	Ο	
3.5	High Efficiency HVAC	1.5	•	
3.6ª	High Efficiency HVAC	O 2.0		
4.1	High Efficiency HVAC Distribution System	0.5	0	
4.2	High Efficiency HVAC Distribution System	O 1.0	•	

2018 Washington State Energy Code-R

Total Credits 6.5 source sized at a maximum of 0.5 W/sf (equivalent) of heated floor area or 500 W,

ay be installed in the dwelling unit. able C403.3.2(4) or C403.3.2(5)

able C403.3.2(1) or C403.3.2(2)

e than one option from any category EXCEPT in category 5. Option 5.1 may be combined ugh 5.6. See Table 406.3.

00 kWh of electrical generation provided annually, up to 3 credits max.

e R406.2 for all requirements and option descriptions. on in the upper right of the second column to deselect radiobuttons in that group.

1 through 3 of this worksheet for submission to your building official.

	JANARCE S JANARACE HOMES 7525 SE 24th St., 487 Mercer Island, WA 98040 425.266.9100
	▲ Issue Issue Date By Description ▲. 04.08.22 CITY PLAN REVIEW COMMENTS
	Liao Residence 4541 88th Ave SE Job Number:
	plan name: – marketing name: PATAGONIA plan number: . mark sys. number:
	Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each respectively shall govern. The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC. © 2017 JayMarc Homes, LLC; All rights reserved.
	Submittal Date
	Sheet Title/Description
	Design Firm Drawn by:
	R.R./ S.K. Checked by:
tion	Primary Scale
et Title/Descrip	EN1

Prescriptive Rath - Single Family S

(07/01/13)

Tree Removals: No regulated trees are proposed to be removed for this development. Several non-regulated trees including trees 191, 192, 196, 197, 198, and 200 are proposed for removal.

Tree Protection: Trees 190, 193, 194, 195, 199, 201, A, B, and C and supplemental tree plantings 202 and 203 will be protected with tree protection fencing and specifications as included in the Arborist Report (Tree Solutions Inc, 04/26/2022)

Clearing and Grubbing Notes: All trees to be removed that are located within the TPZ of site trees shall not be ripped, pulled, or pushed over. The tree should be cut to the base and the stump either left or ground out. A flat front bucket can also be used to sever roots around all sides of the stump, or the roots can be exposed using hydro or air excavation and then cut before removing the stump.

Tree **Solutions Inc Consulting Arborists**

2940 Westlake Ave N #200 Seattle, WA 98109 www.treesolutions.net 206-528-4670

Connor McDermott ISA #PN-8704A ISA Qualified Tree Risk Assessor

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April 26, 2022

Existing Conditions

Plant schedule

Sym	Qty	Name	Scientific Name	Size	Spacing
0	2	Pacific Crabapple	Malus fusca	2-inch caliper	10' o.c.
	2	Shore Pine	<i>Pinus contorta</i> var contorta	6-feet tall	10' o.c.
'	10	Sword fern	Polystichum munitum		2' o.c.
All pl	10	Salal	Galtheria shalon		2' o.c.
	ants sha	all conform to A	merican Associatic	on of Nurseryme	en (AAN)

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Liao Residence 4541 88th Ave SE, Mercer Island, WA Parcel # 0191100345

April 26, 2022

Planting Plan

L-2

Notes: Tree Removal and Planting

Tree Removals:

The City of Mercer Island requires that four trees to be planted on this property to fulfill the tree replacement requirements from a prior exceptional tree removal.

Replacement trees:

Prior to the development, one exceptional tree was removed and six replacement trees were required to be planted and retained during a five-year rolling period. Two of the existing replacement trees fit the requirements of a replacement tree. Four additional replacement trees are required to fulfill the previous tree removal on site.

The required minimum size of the supplemental tree worth one (1) tree credit shall be four 6-feet tall for native or other conifers and 1.5-inch caliper for deciduous or evergreen broad-leaf tree (MICC 19.10.070.B.3) . All trees must be spaced 10-feet on center apart. At least half of the replacement trees species must be native to the Pacific Northwest (MICC 19.10.070.B.2).

All plants shall conform to American Association of Nurserymen (AAN) grades and standards as published in the "American Standard for Nursery Stock" manual.

Clearing and Grubbing Notes:

All trees to be removed that are located within the TPZ of retained trees shall not be ripped, pulled, or pushed over. The tree should be cut to the base and the stump either left or ground out. A flat front bucket can also be used to sever roots around all sides of the stump, or the roots can be exposed using hydro or air excavation and then cut before removing the stump.

Vegetation removal and planting should be done by hand within tree protection areas. All removed plant material shall be properly disposed of off-site.

Removal of invasive plants within tree protection areas should be done using a combination of hand tools, hand-held power equipment, and chemical controls such as foliar herbicide spray and spot-treatments following stem cutting.

Specifically, Ivy (Hedera spp) and Himalayan blackberry (Rubus bifrons) within tree protection areas should be cleared and grubbed by hand-digging out the roots, or plants shall be cut at the base and chemical treatment shall be applied when the plants are actively growing. Remove invasive plant material from the site for disposal.

English holly (*Ilex aquifolium*) and Cherry laurel (*Prunus laurocerasus*) within tree protection areas should be treated with herbicide pellets injected directly into their stems. Trees and shrubs smaller than three inches diameter will be cleared and grubbed. Vegetative matter shall properly disposed of off site.

All herbicide use must be performed under the supervision of a licensed pesticide applicator with a Commercial Applicator's License per WAC 16-228-1231. All on-site transport, use, and clean-up of pesticides / herbicides shall conform to regulations set forth by WAC 16-228-1220. The applicator will follow King County's noxious weed regulatory guidelines and King County's best management practices for invasive species removal using herbicide.

Basic Planting Instructions:

Trees must be planted in the wet season (October 1 through April 1) after the completion of the development work (MICC 19.10.070.B.5).

Before planting, set out the plants according to the planting plan. Remove invasive vegetation from all areas within 5-feet of proposed planting holes. Adjust locations of plants if the planting hole location per the planting plan requires damaging existing tree roots or native vegetation.

Dig bowl-shaped planting holes at least twice the width of the root ball. The hole should be just slightly deeper than that of the planted plant. Rough up the sides of the planting hole.

Remove the plant from its container and gently loosen bound roots on the outer inch of the soil and cut roots that encircle the root ball.

Set the plant in the hole so that the top of the soil remains level with the surrounding soil. Fill the surrounding space with loose native soil. Cover any exposed roots but do not pile dirt on the stem as it can kill some plants.

Gently press the filled soil to collapse air pockets, but allow the soil to remain loose. Form a temporary water basin around each plant to encourage water collection.

Water thoroughly.

Mulch with 3-inches of wood chips. Do not allow mulch to touch the base of the plant.

Maintenance:

The replacement trees are required to be maintained in a healthy condition for 5 years after planting. If a replacement tree dies, becomes diseased, or is removed within the 5 year period a new replacement tree is required to be replanted (MICC 19.10.070.D).

Irrigate the tree twice per week deeply using drip irrigation, or a 15-to 20gallon water bag at the base of the tree. Maintain irrigation through the 5 year establishment period.

Iree **Consulting Arborists**

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April 26, 2022

Planting **Specifications**

